

SCHEDULE OF CONDITION

Prepared October

The White Hart



Prepared By

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0800 298 5424

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Below we have an example Building Survey carried out to by 1st Associated for more information go to www.1stAssociated.co.uk or phone 0800 298 5424

Address

The White Hart

**Prospective
Tenants/
Purchasers**

Oak Taverns

**Repairing
Covenant:**

We have assumed the property has a full repairing and insuring covenant. Your legal adviser should confirm this and advise us of any unusual clauses immediately.

Photographs:

We have taken approximately 100 photographs during the course of this Schedule of Condition. We reserve the right to produce these photographs to establish the condition of the property over and above the ones included in the report.

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Limitations:

As per our original Terms of Engagement, we would remind you specifically that:

We have not inspected parts of the structure which were covered, unexposed or inaccessible during our inspection. We therefore cannot confirm that such parts are free from defect, structural or otherwise.

**Limitations
Continued**

We have not determined whether any hazardous materials such as high alumina cement, calcium chloride, asbestos etc have been used in the construction.

Our report is for the use of the party to whom it is addressed above and no responsibility is accepted under the Third Parties Act or for any third parties who use this report in whole or in part.

We only carried out a visual inspection of any electrical, mechanical or drainage services. We therefore cannot confirm that they are operational and in good condition. If you wish us to arrange tests, please advise.

We have not carried out or arranged for specialists to undertake any reports, for example an environmental report or an audit

report upon the property. We are therefore unable to advise whether any contaminated or other adverse environmental issues affect the site.

The Schedule of Condition has been prepared by www.1stassociated.co.uk in October 2002. The inspection was carried out on Wednesday 9 October 2002 and this report does not constitute a Structural Survey (now known as a Building Survey).

Orientation:

All directions are taken as if viewing the property from the front which we have taken to be the road side with the general store to the left hand side and A and D Hensey the right hand side.

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Signature Document

INTRODUCTION

The White Hart Public House is located within the town centre of Downham Market.

The trading area consists of:

Front of House

- Two bars and associated servery;
- Breakfast room;
- Male toilet with slab urinal and one WC;
- Female toilet with WC.

Back of House

- A fire damaged kitchen;
- A basement level cellar.

Externally

- A car park is unmarked but we believe 10-20 cars could park in the area;
- Garden area;
- Large two storey barn.

Private Living Accommodation

The accommodation consists of:

- Five bedrooms, one of which is a box room with low ceiling heights;
- A lounge;
- A bathroom;
- No kitchen.

Letting Rooms

There are four letting rooms, three at first floor level and one on the ground floor level. These are presently not used and were empty at the time of our inspection.

SUMMARY OF CONSTRUCTION

Externally

Roofs

Main Roof – Pantiles.

Rear Flat Roofs – A slate roof and a flat roof.

Walls

A mixture of painted brickwork, painted render, exposed brickwork and sandstone (which looks to have an iron content, often known as ironstone).

Windows

Primarily timber sliding sash windows with some casement windows to the rear of the property.

Rainwater Goods

A mixture of plastic and cast-iron rainwater goods.

Internally

Floors

Basement – Concrete

Ground Floor – A suspended timber floor and a concrete floor

First Floor – Joist and floorboard

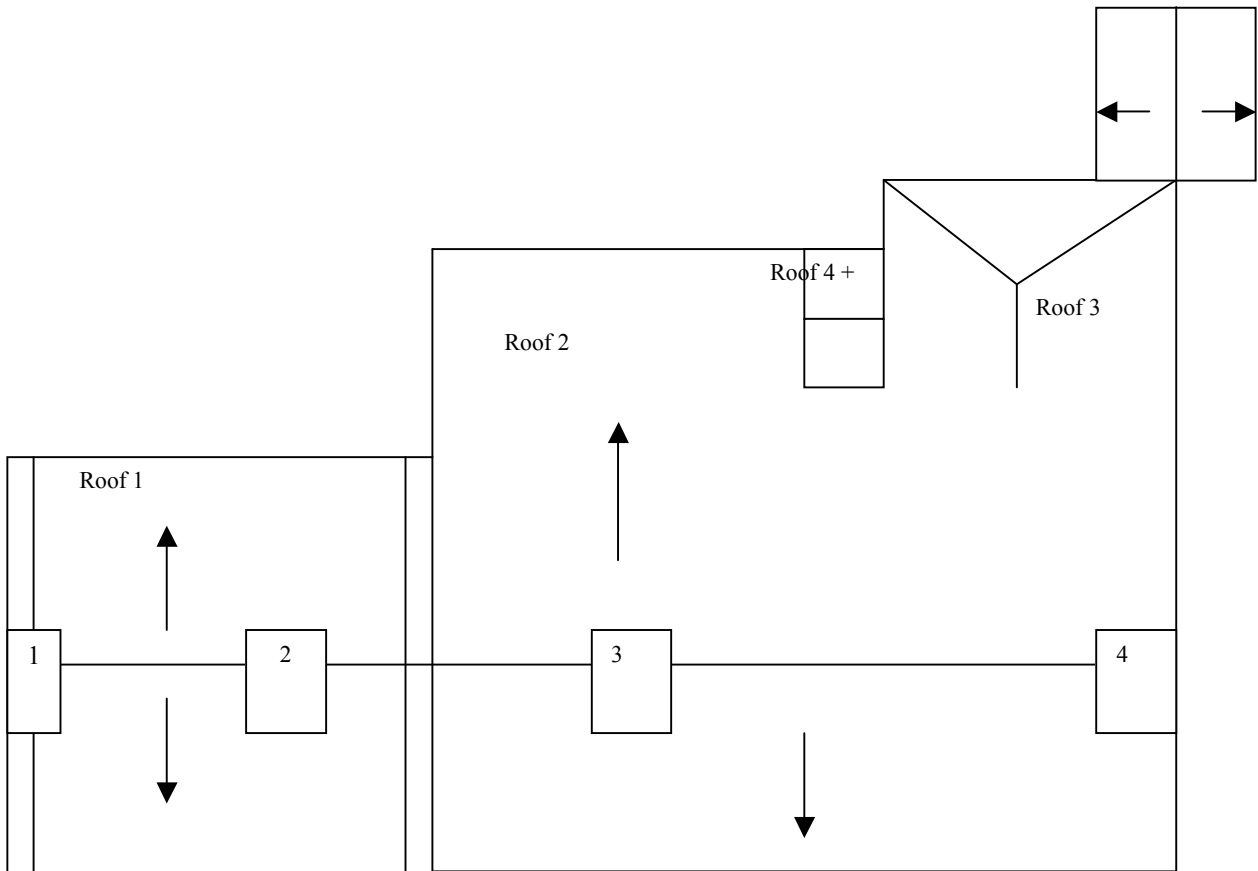
Services

Assumed mains gas, electricity, drains and water supply.
(Please see our note in the limitations section).

SUMMARY OF COSTS

To be agreed.

EXTERNAL ROOF PLAN



Chimneys

Left Hand Chimney – Chimney One

Slight lean, requires extensive re-pointing and a crack visible.



Left Hand Middle Chimney – Chimney Two

Re-pointing.



Middle Chimney Right Hand Side – Chimney Three

Requires flashing and some re-pointing.



Right Hand Chimney – Chimney Four

Requires extensive re-pointing and new flashing.

ACTION: Generally re-point all chimneys, particularly the left hand and right hand side chimneys and new flashings are required for chimneys three and four. Anticipated costs, assuming that scaffolding is not required - £2,000.



Roofs

The main property has a pitched pantile roof, which is stepped, and there are a second variety of pantiles on the adjoining roof.

We have split these into left and right hand side. To the rear there is a slate roof which marries in to the right hand side pantile roof and there is also a single storey level flat roof.

Left Hand Roof - Roof One

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A fairly steep pantile roof in reasonable condition.

Parapet wall

The left hand parapet wall is exposed and requires re-pointing or possibly rendering.

ACTION: Re-point approximate cost £2,000 - £5,000 due to the difficulty of access, which will probably require scaffold over the adjoining property.



Right Hand Roof – Roof Two

A blackened pantile in average condition. There are some displaced tiles to the left hand side and the ridge requires re-bedding.



Roof tiles require re-bedding

ACTION: Anticipated cost £1,000. This will increase if scaffolding is deemed to be required.

Parapet wall between left and right hand roofs



This requires re-pointing and also has a tile on edge flashing which requires replacing with a lead flashing.

Rear Slate Roof – Roof Three

A slate roof with lead valley gutters, the slate is starting to delaminate and the slates have also been displaced.



Flat Roof – Roof Four

Moss gathering, indicating that the roof does not have the recommended 12-degree fall.



Flashing ??????????

Action ??????????

Rainwater Goods

Front of building

Mixed cast iron and plastic which require renewal, presently allowing water to discharge down the building



particularly to the right hand side of the coach archway which is causing deterioration to the brickwork.

Deterioration being caused by
Leaking gutters

ACTION: We suggest due to the pitch of the roofs, which probably were originally thatched, a deep flow gutter should be used to stop the water overflowing the gutters. Anticipated cost £1,000.



Close up

Rear Rain Water Goods

A mixture of cast iron and plastic. Although not essential we would recommend that the guttering be replaced with a deep flow guttering on the steeper roof sections and generally cleared out.

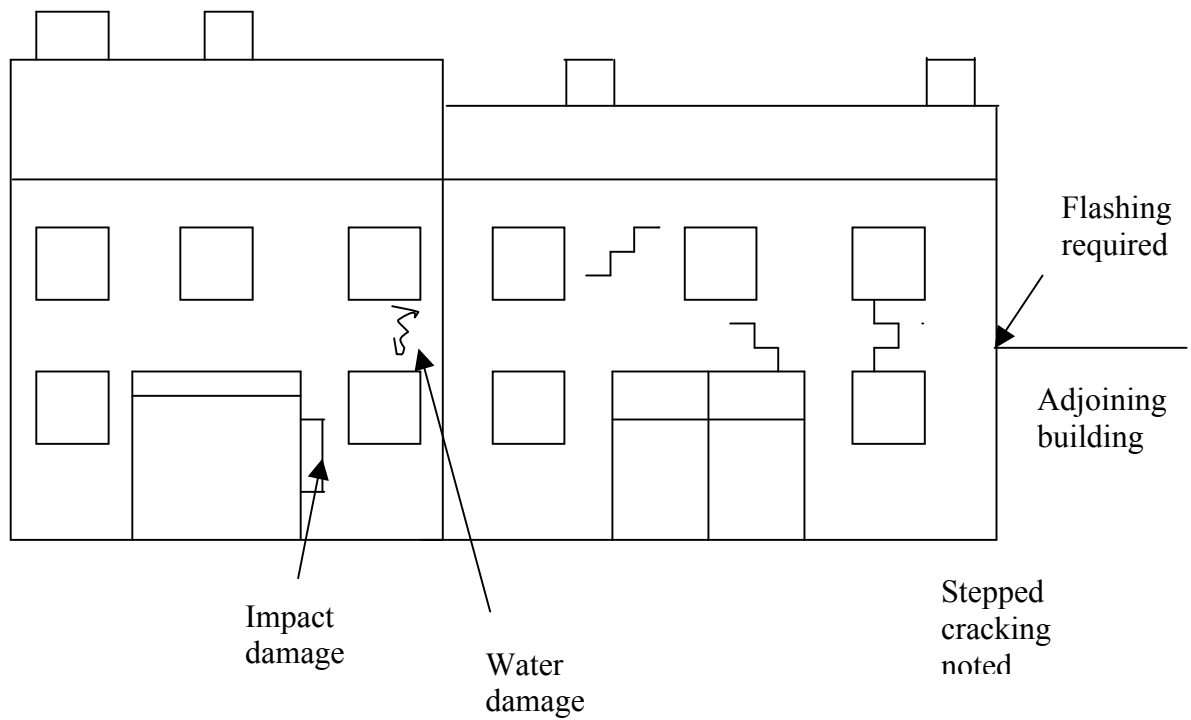
ACTION: We suggest due to the pitch of the roofs, which probably were originally thatched, a deep flow gutter should be used to stop the water overflowing the rear gutters. Anticipated cost £500.

Roof Void

Not inspected.

FRONT ELEVATION – LEFT HAND SIDE

This sketch shows a sample of the problems and issues identified.



FRONT ELEVATION



Left hand side



Right hand side

FRONT ELEVATION

Walls

Generally painted Flemish bond brickwork. The paintwork is dirty discoloured and flaking. Water damage from the overflowing gutter is also visible.

Various step cracks were noted, particularly to the right hand side and there is also impact damage to the sides of the coach way arch.

ACTION: Repair guttering already mentioned. We have assumed that the step cracking is historic.

External Joinery

Fascias and Soffits

We have assumed that these have deteriorated as the gutters are leaking and will need replacement.

Windows and Doors

Painted Sliding Sash Windows

These are flaking and wood is visible in some instances, these require redecoration.

ACTION: Repair and splice in new timber as required and redecorate. Anticipated cost £750.



Signage

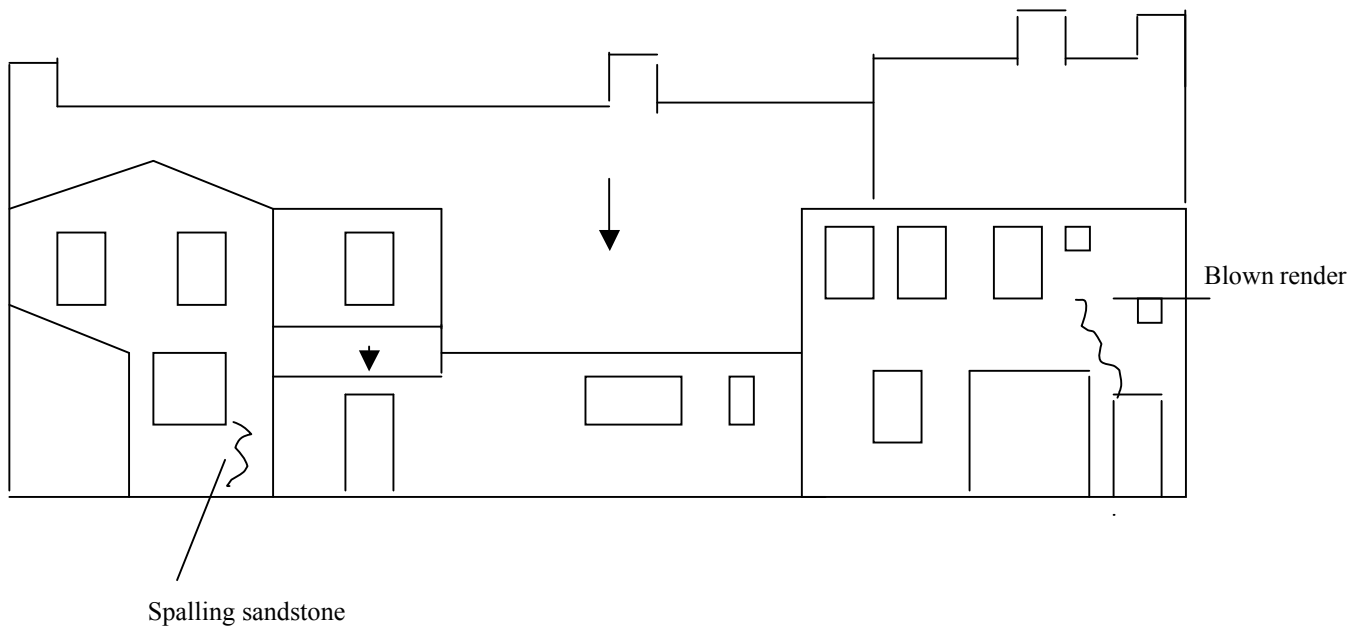
The present signage is minimal, consisting of one swing sign and lettering above the entrance door.

Other

???????????

REAR ELEVATION

This sketch drawing shows a sample of the problems and issues identified.



REAR ELEVATION



Left hand side



Right hand side

REAR ELEVATION

Render

Primarily to the right hand side of the property the walls have a painted render finish. This is blown in many areas.

We also note that the building has a Listed sign on it, which indicates that future repairs will be monitored and may require specifications over and above those that have been previously used, for example the render appears to be cement based when the render for this age of property will have been lime based.

ACTION: Hack off hollow areas of render and replace. From our investigations of the area to the right hand side of the bed and breakfast entrance door we anticipate the render will be approximately 50% of the entire render area.

Whilst there is no obvious initial need to carry out this work we would anticipate it as being a future cost. Estimate of repair work cost £5,000 to £10,000.

Sandstone

The majority of this has a modern paint on it, which is not recommended and is liable to cause accelerated deterioration to the sand stone.

Spalling has been noted but we do not believe there is any other real alternative without major cost implications, other than to re-paint over the sandstone. The Listed Building Officer may of course feel differently about this!



External Joinery

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Fascias and Soffits

We were unable to view these.

Windows and Doors

Painted Sliding Sash Windows

These are flaking and wood is visible in some instances, these require redecoration.

ACTION: Repair and splice in new timber as required and redecorate. Anticipated cost £???????

Rain Water Goods

We would recommend that the rainwater goods be replaced with a deep flow system.

Other

There appears to be a leak to the main drains and surface water is visible. In this age of property drains are often a problem and are very expensive to repair as they are very old.

We have found that it is rare for insurance claims to succeed on this age of property and the insurance company argue that it is down to fair wear and tear.

INTERNAL

GROUND FLOOR – TRADING AREA

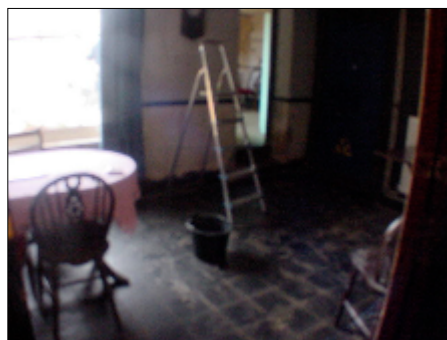
Front of House



Left hand bar



Right hand bar



Breakfast Room

Back of House

Kitchen

Complete refurbishment needed.



Private Living Accommodation

Generally to an acceptable standard, although could benefit from redecoration and refurbishment.

The area is generally in need of redecoration and the ceiling needs to be repaired in the breakfast room.



Breakfast Room

We are concerned with the deflection to the floor in this area. It would appear that the joists are undersized and/or the end of the rafter feet are rotten.

ACTION: Open up floor to check rafter feet.

We note this part of the building has been braced both across its width and length and therefore this is a long term problem. We would also advise that this section is the part that has received the listed status.

SERVICES

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We would reiterate that services have not been tested. We believe from our visual inspection that the electrics would not meet current IEE Regulations.

We are not able to give any advice on the gas installation or the drainage or water supply, other than we believe the drainage to be leaking which is likely to be costly.

GENERAL COMMENT

Fire Regulations

We do not believe that the property would meet current Fire Regulations. For example within the letting rooms area all the doors did not have door closers and we could not determine whether they are fire doors or not.

Disability Act

You should be aware that it is now a requirement to give access to the disable and make reasonable amendments to the property as is necessary to accommodate them. There does not appear to have been any provision with regards this. You should ask to see if a report has been carried out in line with the Disabilities Act highlighting areas which can be improved or have been improved.

Listed Building

We have spoken with Norfolk County Council who have advised that the Guest House/Bed and Breakfast area has received the listed grading, but this in turn means that the adjoining property is also listed, as with listed properties everything that falls within the demise of the building is listed. This will mean that additional cost may be incurred when carrying out work as it will have to be carried out in keeping of its listed building status.

Signature Document in Relation to
Schedule of Condition

This signature document represents page ??? and page ??? of a
??? page Schedule of Condition relating to

The White Hart Coach House, Downham Market, Norfolk

as prepared by

[Http://www.1stassociated.co.uk](http://www.1stassociated.co.uk) Chartered Surveyors

You should ensure your Legal Advisor has this document
signed by the relevant parties and agreed prior to legal
commitment to purchase. Delete/amend as you require

Lessees Representative

We verify that this is a true and accurate record of the condition
of:

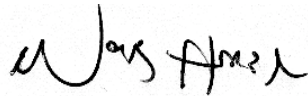
The White Hart Coach House, Downham Market, Norfolk

As inspected October 2002

By

[Http://www.1stassociated.co.uk](http://www.1stassociated.co.uk)

Chartered Surveyor



SignedDated: October 2002

For and on Behalf of

[Http://www.1stassociated.co.uk](http://www.1stassociated.co.uk), Chartered

Surveyors

Lessee

Mr ?? of ?? have seen and forwarded it on by recorded delivery on the.....to the owners/landlords or their legal representatives in relation to the proposed Lease.

Signed: Dated.....

Landlords Representative (delete as applicable)

Print Name.....For and on Behalf of.....

.....has inspected and read the Schedule of

Condition for an on behalf of.....and accepts that it

is a true and accurate record.

Signed: Dated.....
For and on Behalf of

I have the authority to sign this document on behalf of the
aforementioned company.